

**APPROVED**



**LEGEND**

Local Development Plan Area	No vehicular access
Residential R25	Retaining wall
6m Western Power easement	Uniform fencing
Designated garage location	Power pillar
Existing tree to be retained	Stormwater entry pit
3m primary street setback	2x2m drainage easement (driveway permitted over)

**APPROVED**

This Local Development Plan has been approved by the City of Kalamunda under clause 52(1)(a) of the deemed provisions of Local Planning Scheme No.3

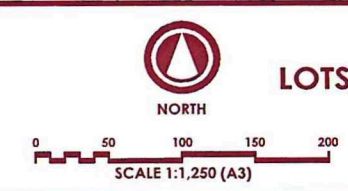

24/10/22
LDP Ref. No.

**Andrew Fowler-Tutt**  
 Manager Approval Services



**PROVISIONS**

- General**
- The provisions of the City of Kalamunda Local Planning Scheme No.3 and State Planning Policy 7.3 Volume 1: Residential Design Codes are varied within this LDP.
  - All other requirements of the Scheme and R-Codes shall be satisfied.
- Setbacks**
- Buildings shall be setback a minimum of 3m to the primary street (*this does not apply to garages*).
  - Walls 3.5m high-or-less with major openings shall be set back a minimum of 1.2m from lot boundaries.
  - Walls 3.5m high-or-less without major openings shall be set back a minimum of 1m from lot boundaries.
  - Walls not higher than 3.5m may be built up to two side boundaries within the following limits:
    - up to 1/3 the length of the balance of the lot boundary behind the street setback on one side boundary, and
    - up to 2/3 the length of the balance of the lot boundary behind the street setback on the second side boundary.
- Garages & vehicular access**
- Garages shall be located where shown on this LPD.
  - Garages shall be set back a minimum of 4m from the primary street.
  - For lots with a frontage between 10.5m and 12m, a garage may occupy more than 50% of the frontage, to a maximum width of 6m, where:
    - the garage is set back a minimum of 0.5m behind the building alignment;
    - the dwelling provides a major opening to a habitable room directly facing the primary street;
    - the dwelling provides an entry feature consisting of a porch or veranda with minimum depth of 1.2m; and
    - the crossover is a maximum of 4.5m wide where it meets the street.
  - No vehicular access is permitted across property boundaries in locations depicted on this LDP.
- Other**
- A minimum of one street tree per dwelling shall be planted in the verge and shall be a species approved by the City and have a root-ball size of at least 75 litres.
  - The front setback area, excluding the area of any verandah or porch, shall consist of at least 60% soft landscaping, of which no more than 50% shall comprise of turf.
  - Uniform fencing constructed by the developer shall not be modified, and any repairs shall use materials as close as reasonably practical to those used in the original construction.



**HARTFIELD GREEN LOCAL DEVELOPMENT PLAN**  
 LOTS 1-12, 28-32 & 37-39 COYONG RD, 13-25 VARIA CRES,  
 26-27 ANOMALA AVE & 33-36 GEMINA AVE

**WATTLE GROVE**

**CITY OF KALAMUNDA**