

Legend

LDP CONTEXT

- Local Development Plan Extent
- Existing Street Trees to be Retained

R-Codes Part B

- R25 Subject Lots
- R30 Subject Lots
- R40 Subject Lots

R-Codes Part C

- R30 Subject Lots

LDP REQUIREMENTS

- Designated Garage Location
- Designated Crossover Location
- No Vehicle Access Permitted
- Visually Permeable Fencing Extent (by Developer)
- Primary Dwelling Orientation
- Secondary Dwelling Orientation
- Designated Visitor Car Parking Location (Lots 5A-5J only)
- Designated Bin Pad Locations

LDP REQUIREMENTS (continued)

- Retaining Walls
- Stair Access Location
- Lots subject to Bushfire Planning Requirements*
- BAL 29
- BAL 12.5
- Asset Protection Zone Requirement (BAL 40)

Location Plan



Local Development Plan Provisions - R-Code Part B

1.0 GENERAL

- Unless provided for below, the provisions of the City of Kalamunda Local Planning Scheme No.3, and Residential Design Codes (R-Codes) - Part B apply.
- This LDP operates in conjunction with the requirements of the R-Codes – Part B by applying additional controls or by varying 'Deemed-to-comply' requirements. Where this LDP varies any requirements of the R-Codes – Part B, compliance shall be deemed to constitute 'Deemed-to-comply' and neighbour consultation with respect to those items is not required.

2.0 STREET SETBACK REQUIREMENTS

Lots Applicable	Building Setbacks		Minimum	Requirements
Lots 1 - 4	Primary Street	Building (ground and upper levels)	4.0m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.• A porch, verandah, unenclosed balcony or the equivalent is not permitted to encroach into this minimum building setback.
		Garage	5.5m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.
Lot 7		Garage	4.5m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.
Lots 8 - 13		Building (ground and upper levels)	2.0m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.• A porch, verandah, unenclosed balcony or the equivalent is not permitted to encroach into this minimum building setback.
Lots 8 and 19	Laneway	Garage	2.0m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.
Lots 9 - 18			0.5m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.

3.0 LOT BOUNDARY SETBACK REQUIREMENTS

Lots Applicable	Building Setbacks		Minimum	Requirements
Lots 8 and 19	Buildings on Boundary (other than Street and POS boundaries)	All levels	0.0m	<ul style="list-style-type: none">• Permitted wall height 7.0m along western lot boundary.• Permitted wall height 3.5m along eastern lot boundary.• Maximum wall length for two thirds the length of the site boundary (entire length).• Two boundaries permitted.• Any exposed parapet wall on eastern boundary must be suitably finished to match the external walls of the building, unless otherwise agreed with the adjoining property owner.
Lots 9-18	Buildings on Boundary (other than Street and POS boundaries)	All levels	0.0m	<ul style="list-style-type: none">• Permitted wall height 7.0m or less.• Maximum wall length for two thirds the length of the site boundary (entire length).• Two boundaries permitted.
Lots 14 - 19	Public Open Space	Building (ground and upper levels)	4.0m	<ul style="list-style-type: none">• No maximum setback applicable.• Averaging is not permitted to minimum setback.
		Building (porch, balcony, verandah)	2.0m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.• A porch, verandah, unenclosed balcony or the equivalent is permitted for 100% of the frontage.

4.0 CARPORTS, GARAGES AND VEHICLE ACCESS

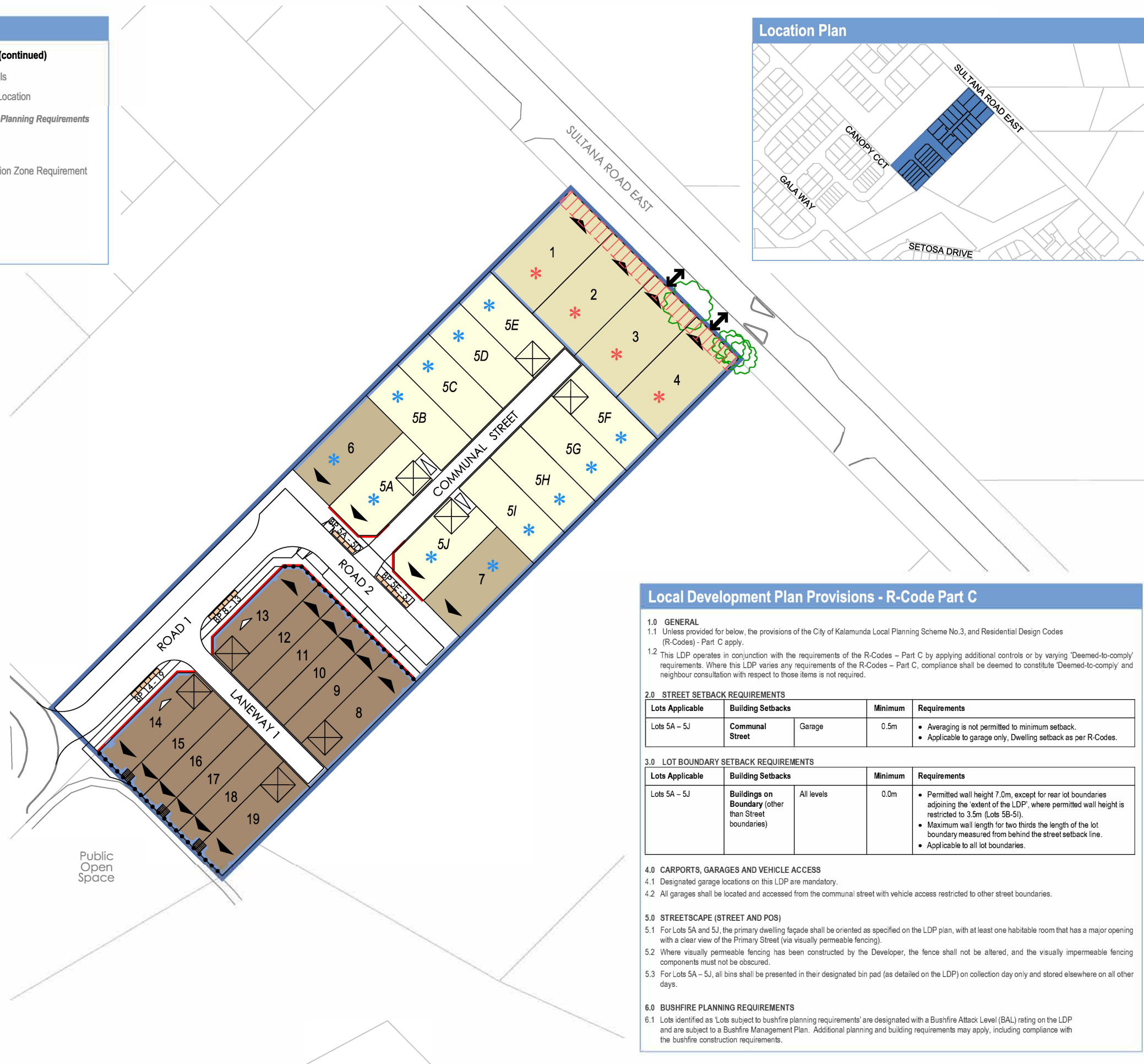
- Designated driveway crossover and garage locations on this LDP are mandatory.
- For Lots 8-19, all garages shall be located and accessed from the laneway, with vehicle access restricted to other street boundaries.

5.0 STREETScape (STREET AND POS)

- For all lots, the major entry and primary dwelling façade shall be oriented as specified on the LDP plan. Secondary building facades, where applicable, shall provide surveillance of the adjoining public realm.
- For Lots 14-19, dwellings shall have at least one habitable room that has a major opening with a clear view of the Public Open Space (via visually permeable fencing), or an outdoor living area located to face towards and achieve an unobstructed view of the Public Open Space.
- Where visually permeable fencing has been constructed by the Developer, the fence shall not be altered, and the visually impermeable fencing components must not be obscured.
- For Lots 8-19, all bins shall be presented in their designated bin pad (as detailed on the LDP) on collection day only and stored on their private lot on all other days.

6.0 BUSHFIRE PLANNING REQUIREMENTS

- Lots identified as 'Lots subject to bushfire planning requirements' are designated with a Bushfire Attack Level (BAL) rating on the LDP and are subject to a Bushfire Management Plan. Additional planning and building requirements may apply, including compliance with the bushfire construction requirements.
- Lots 1 – 4 have a designated Asset Protection Zone applicable, restricting any building within this 4m wide zone.



Local Development Plan Provisions - R-Code Part C

1.0 GENERAL

- Unless provided for below, the provisions of the City of Kalamunda Local Planning Scheme No.3, and Residential Design Codes (R-Codes) - Part C apply.
- This LDP operates in conjunction with the requirements of the R-Codes – Part C by applying additional controls or by varying 'Deemed-to-comply' requirements. Where this LDP varies any requirements of the R-Codes – Part C, compliance shall be deemed to constitute 'Deemed-to-comply' and neighbour consultation with respect to those items is not required.

2.0 STREET SETBACK REQUIREMENTS

Lots Applicable	Building Setbacks		Minimum	Requirements
Lots 5A – 5J	Communal Street	Garage	0.5m	<ul style="list-style-type: none">• Averaging is not permitted to minimum setback.• Applicable to garage only, Dwelling setback as per R-Codes.

3.0 LOT BOUNDARY SETBACK REQUIREMENTS

Lots Applicable	Building Setbacks		Minimum	Requirements
Lots 5A – 5J	Buildings on Boundary (other than Street boundaries)	All levels	0.0m	<ul style="list-style-type: none">• Permitted wall height 7.0m, except for rear lot boundaries adjoining the 'extent of the LDP', where permitted wall height is restricted to 3.5m (Lots 5B-5J).• Maximum wall length for two thirds the length of the lot boundary measured from behind the street setback line.• Applicable to all lot boundaries.

4.0 CARPORTS, GARAGES AND VEHICLE ACCESS

- Designated garage locations on this LDP are mandatory.
- All garages shall be located and accessed from the communal street with vehicle access restricted to other street boundaries.

5.0 STREETScape (STREET AND POS)

- For Lots 5A and 5J, the primary dwelling façade shall be oriented as specified on the LDP plan, with at least one habitable room that has a major opening with a clear view of the Primary Street (via visually permeable fencing).
- Where visually permeable fencing has been constructed by the Developer, the fence shall not be altered, and the visually impermeable fencing components must not be obscured.
- For Lots 5A – 5J, all bins shall be presented in their designated bin pad (as detailed on the LDP) on collection day only and stored elsewhere on all other days.

6.0 BUSHFIRE PLANNING REQUIREMENTS

- Lots identified as 'Lots subject to bushfire planning requirements' are designated with a Bushfire Attack Level (BAL) rating on the LDP and are subject to a Bushfire Management Plan. Additional planning and building requirements may apply, including compliance with the bushfire construction requirements.

Local Development Plan (WAPC Approval: 201105 & 1306-24)

LOT 12 SULTANA ROAD EAST, FORRESTFIELD

An Acott Equities Pty Ltd Project

Endorsement Table:

This Local Development Plan has been approved...

Authorised Officer: Regan Travers - Manager Approval Services

Date: 25 September 2025

scale:
1:1000@A3 | 1:500@A1



0 10 20m

plan:
23/07/024C

date:
18/06/2025

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